# ADDENDUM NO. 1



Project Designation: 16070 - JJSD #251 Harwood Elementary Addition and Remodel

For: Jefferson Joint School District No. 251 Date: April 29, 2019

This Addendum applicable to work designated herein shall be understood to be and is an Addendum and as such shall be part of and included in the Contract.

Failure to acknowledge receipt of this Addendum on the bid proposal form may result in rejection of your bid.

#### **General Items:**

1. The Storm Water Pollution Prevention Plan is available. Contact Bateman-Hall for the document.

#### **Architectural Items:**

- 1. See revised sheet SD1.1
  - a. The text for Keynote #7 was changed. New fence callout. New fence section. New gate callout.
  - b. Backstop design changed.
  - c. Basketball Hoops added and adjusted.
- 2. See revised sheet **SD1.2** 
  - a. Details updated and added.
- 3. See revised sheet A0.1
  - a. Demolition Note #10 was changed. Callouts for removing the fence.
- 4. See revised sheet **A0.3** 
  - a. The ceiling in large existing restrooms shall be removed.
  - Remove existing acoustical ceiling and grid in kitchen. Note there is a vertical portion to the acoustical ceiling.
- 5. See revised sheet A1.0
  - a. Sheet title changed.
  - b. Vapor Barrier removed on the roof type. Added 1/2" Securock as an option instead of Perlite Board.
- 6. See revised sheet A1.3 and 1.6
  - a. General Note #8 added.
- 7. See revised sheet A1.4
  - a. New ceiling in existing large restrooms. Additional General Note #4 added.
  - b. New Acoustical Ceiling and Type in Kitchen 118.
- 8. See revised sheet A1.7
  - a. Additional General Note #4 added.
  - b. New ceiling section callouts. New section detail.
- 9. See revised sheet A4.1 4.5
  - a. Changed Keynote referencing the slab vapor barrier.
  - b. Keynote #719 changed.
- 10. See revised sheet A7.1
  - a. Roof Types called out.
- 11. See revised sheet **A7.2 7.3** 
  - a. Added 1/2" Securock as an option instead of Perlite Board to all roof details.

#### Structural Items:

- 1. See revised sheet **\$2.22** 
  - a. Mis-labeled section callout corrected near grids 2.2/2E.



#### **Electrical Items:**

- 1. See revised sheets ED1.1, ED1.2, E2.1A, E2.1B, E2.2, and E3.2
  - a. Existing exterior lighting and CCTV cameras are to be replaced or modified as required to accommodate replacement of existing building soffit. Refer to revised drawings.
  - New recessed can lights at entry's to existing large restrooms are to be circuited to Corridor lighting circuit and controls. Refer to revised drawings.

# Specification Items:

- 1. Section **09 5113** Acoustical Panel Ceilings.
  - a. Add **FireGuard Option required for ceiling type C4** to paragraph 2.4.B.6. Prelude XL 15/16" Exposed Tee does come with a FireGuard option.
  - b. Add Hold-Down Clips required for ceiling type C4 to paragraph 2.4.C.
- 2. Section **09 5113** Acoustical Panel Ceilings. Add information under bullet point (3) as paragraph 2.3.B.3
- 3. **Type C6:** 
  - a. Size: 24" x 48" x 3/4"
  - b. Pattern: Type IV, Form 2, Pattern E.
  - c. Edge: Square lay-in
  - d. CAC: 35e. LR: 0.80.f. NRC: NA.
  - g. Surface finish: Soil-resistant polyester film.
    - i. Color: White w/gray splatter.
  - h. Basis-of-Design Product:
    - i. 1) Armstrong World Industries, Inc.; Clean Room L
- 4. dfhsadkihf

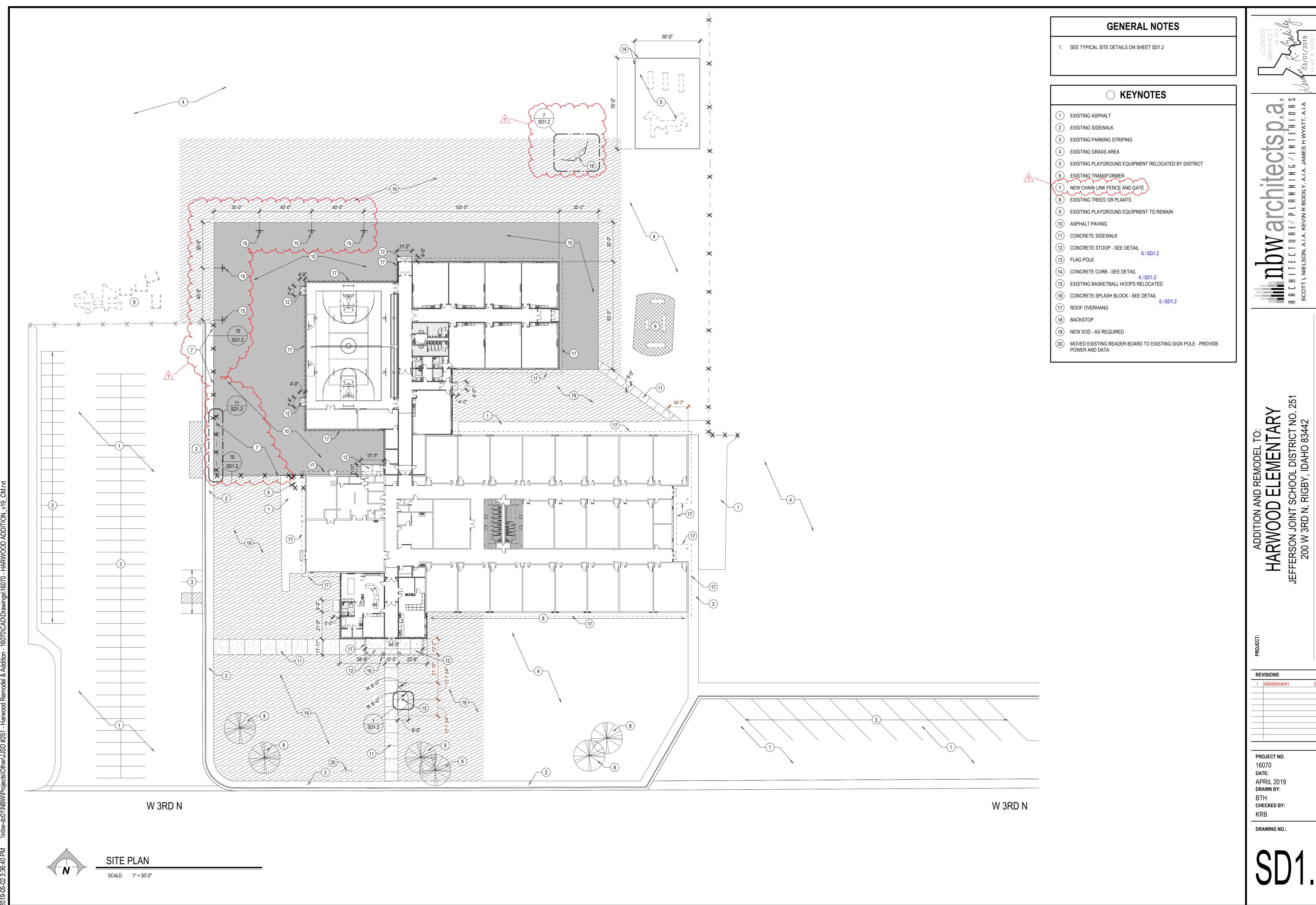
### **Manufacturers and Product Approvals:**

- 1. Specification Section 04 7200 Cast Stone Masonry. Add **Marcstone** as approved Manufacturer.
  - a. Marcstone, Inc., P.O. Box 52, Hampton, Minnesota 55031 Phone: (651) 437-7972
- 2. Specification Section 07 7200 Roof Accessories. Add **Precision Ladders, LLC** as approved Manufacturer. Aluminum Wall Mounted Ladder rejected.
  - a. Precision Ladders, LLC, P.O. Box 2279, Morristown, Tennessee 37816 Phone: (423) 225-2265
- 3. Specification Section 08 7100 Door Hardware. Add **Dormakaba USA Inc.** as approved Manufacturer.
  - a. Dormakaba USA Inc., 6161 E 75th Street, Indianapolis, Indiana 46250 Phone: (800) 711-6854
- 4. Specification Section 10 2113 Toilet Compartments. Add **Scranton Products** as approved Manufacturer.
  - a. Scranton Products, scrantonproducts.com Phone: (570) 348-0997
- 5. Specification Section 22 4001 Plumbing Fixtures. Add **Chicago, Acorn, Symmons,** and **Delany** as approved Manufacturers.
- 6. Specification Section 23 2166 Split System Heat Pump Units. Add **Daikin** as approved Manufacturer.
- 7. Specification Section 23 3114 Low Pressure Steel Ductwork. Add **Pottorff**, **Air-Rite Manufacturing**, and **NCA Manufacturing** as approved Manufacturers.
- 8. Specification Section 23 3400 Exhaust Fans. Add **Twin City Fans, Soler** and **Palau (Briedert)** as approved Manufacturers.
- 9. Specification Section 23 3713 Air Outlets and Inlets.
  - a. Add AirRite as approved Manufacturer in paragraph 2.2.B.
  - b. Add **Pottorff, Air Rite Manufacturing**, and **NCA Manufacturing** as approved Manufacturers in paragraph 2.3.D.
- 10. Specification Section 23 5418 Gas Fired Duct Furnaces. Add **Modine** as approved Manufacturer.
- 11. Specification Section 23 5540 Electric Radiant Wall Heaters. **Add Markel**, and **Indeeco** as approved Manufacturers.
- 12. Specification Section 23 6218 Air Handling Units with Coils. Add **Dunham Bush** as approved Manufacturer.

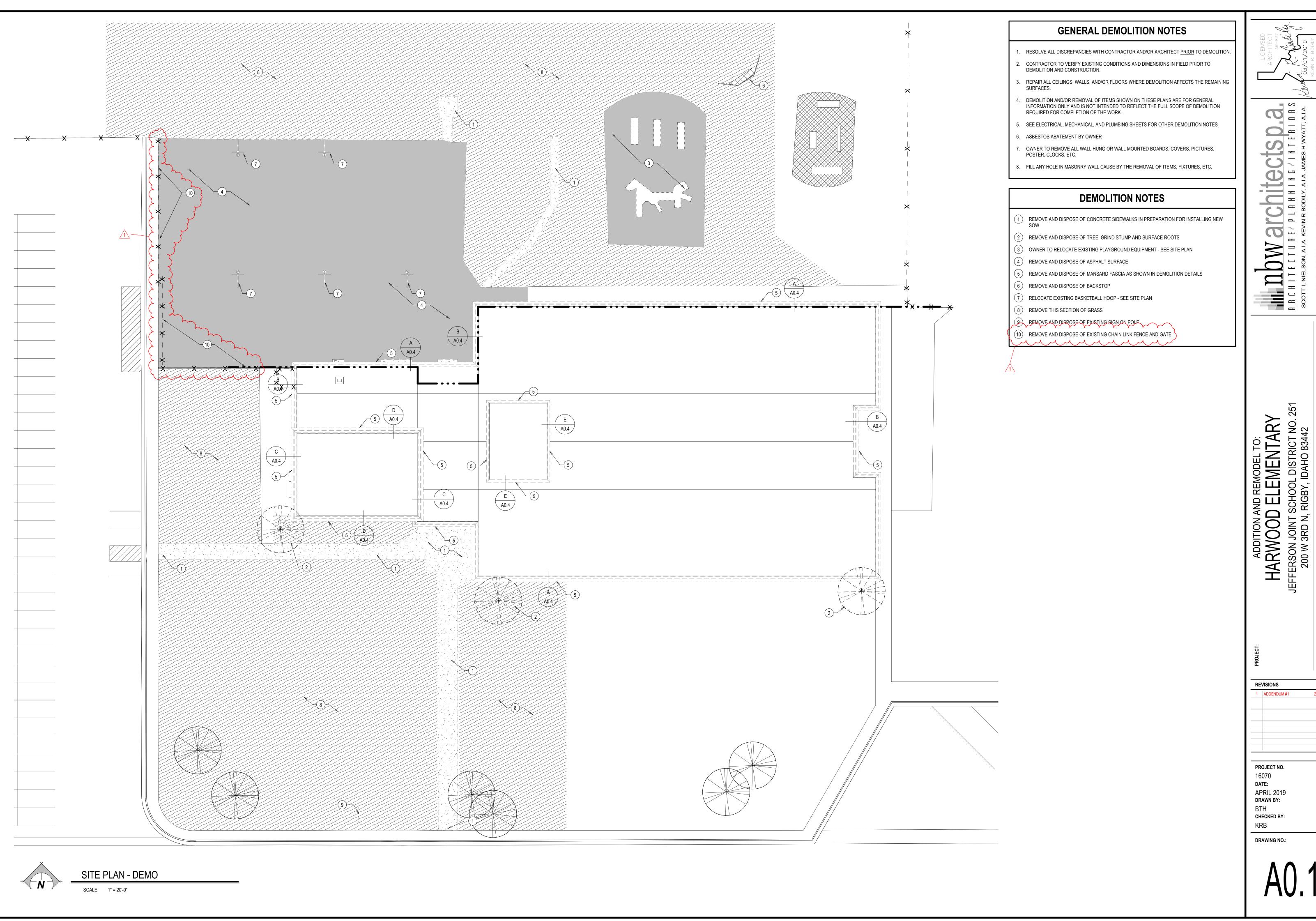
# **Attachments:**

The Addendum consists of: <u>3 pages.</u> Attached Documents consist of – <u>SD1.1, SD1.2, A0.1, A0.3, A1.0, A1.3, A1.4, A1.6, A1.7, A4.1, A4.2, A4.3, A4.4, A4.5, A7.1, A7.2, A7.3, S2.22, ED1.1, ED1.2, E2.1A, E2.1B, E2.2, E3.2</u>

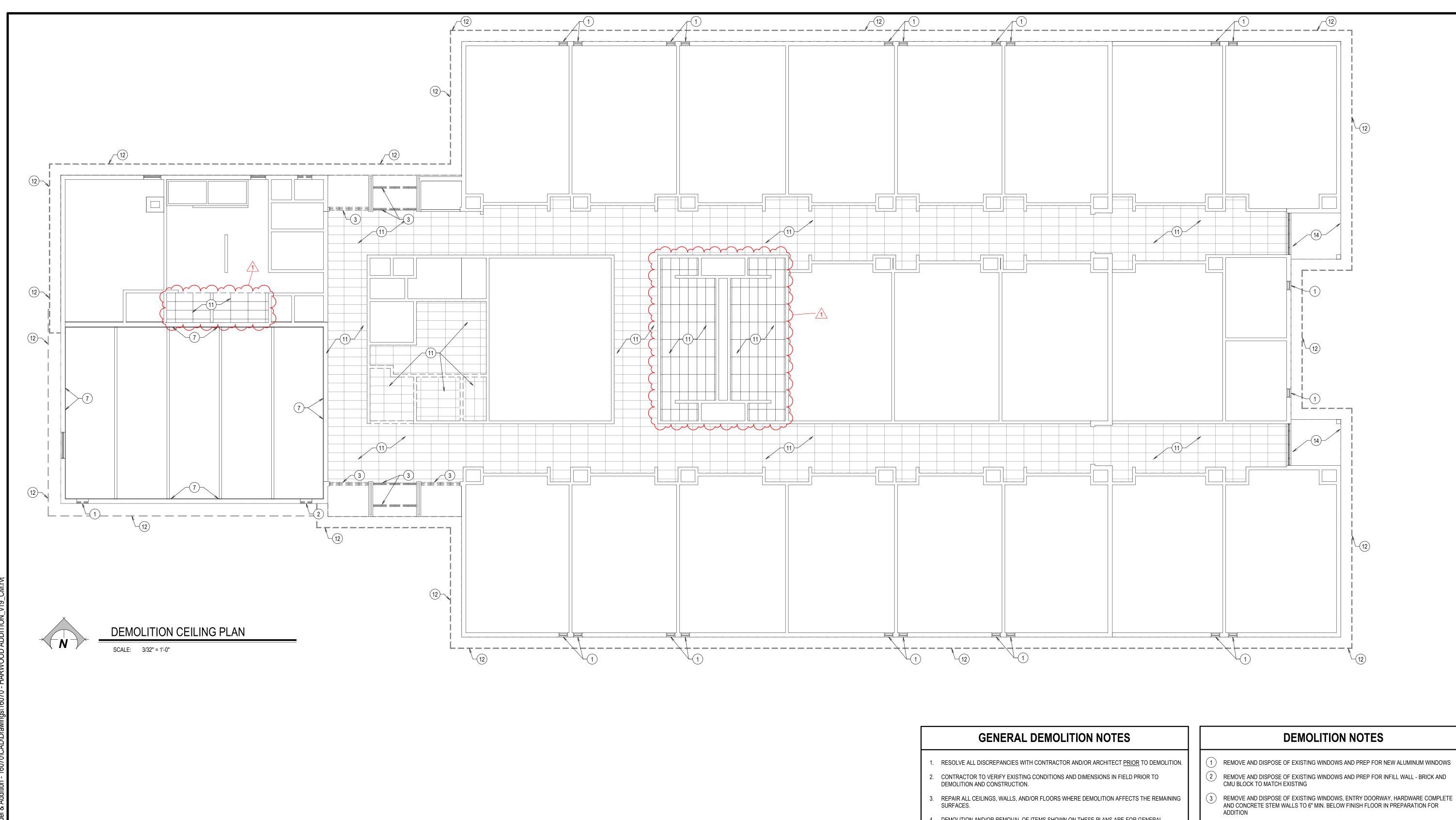
# **END OF ADDENDUM NO. 1**



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APRIL 2019 BTH CHECKED BY:



- DEMOLITION AND/OR REMOVAL OF ITEMS SHOWN ON THESE PLANS ARE FOR GENERAL INFORMATION ONLY AND IS NOT INTENDED TO REFLECT THE FULL SCOPE OF DEMOLITION REQUIRED FOR COMPLETION OF THE WORK.
- . SEE ELECTRICAL, MECHANICAL, AND PLUMBING SHEETS FOR OTHER DEMOLITION NOTES
- . ASBESTOS ABATEMENT BY OWNER
- OWNER TO REMOVE ALL WALL HUNG OR WALL MOUNTED BOARDS, COVERS, PICTURES, POSTER, CLOCKS, ETC.
- 8. FILL ANY HOLE IN MASONRY WALL CAUSE BY THE REMOVAL OF ITEMS, FIXTURES, ETC.

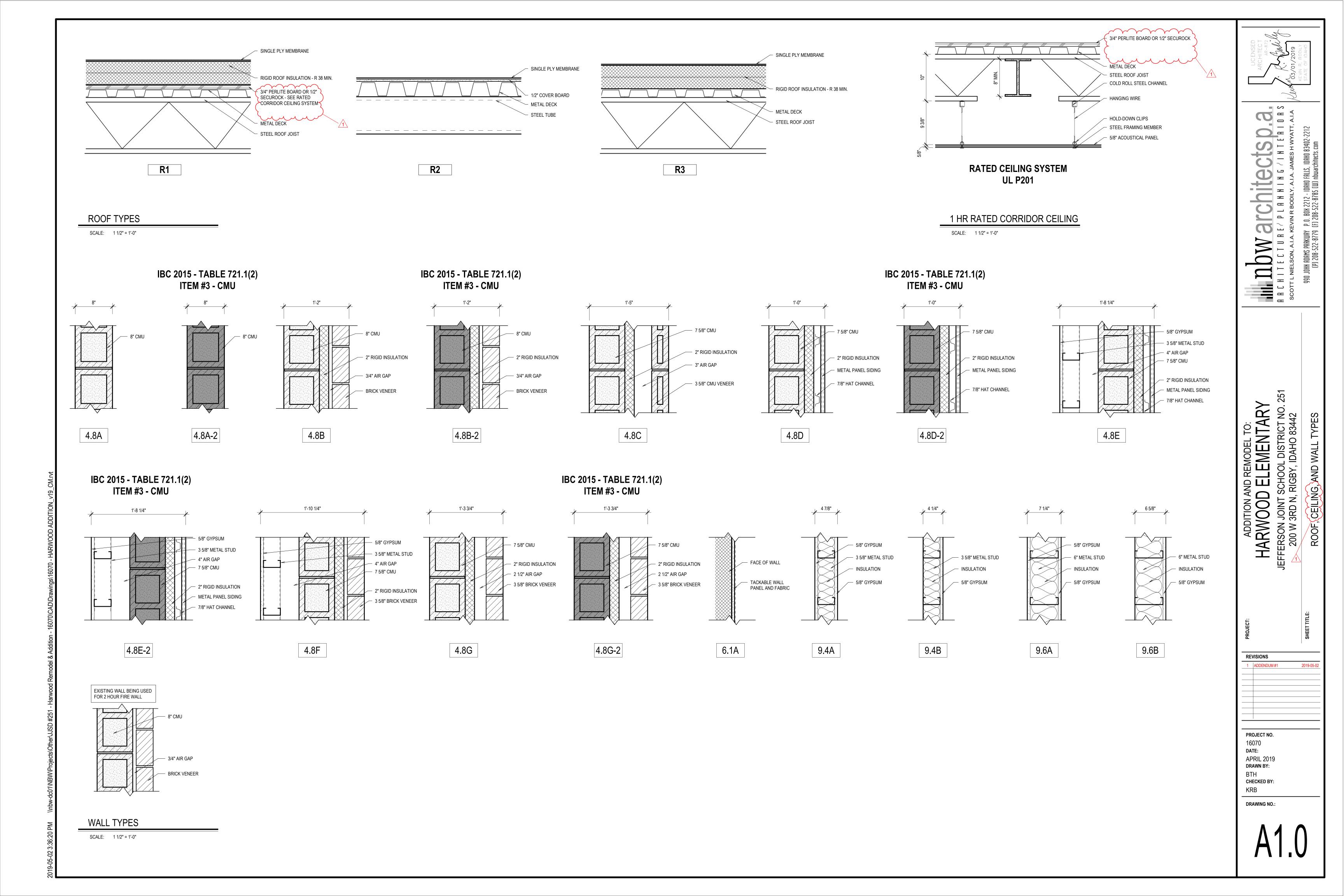
- REMOVE AND DISPOSE OF EXISTING WINDOWS, ENTRY DOORWAY, HARDWARE COMPLETE AND CONCRETE STEM WALLS TO 6" MIN. BELOW FINISH FLOOR IN PREPARATION FOR
- (4) REMOVE AND DISPOSE OF EXISTING MILLWORK AND ANY RELATED PLUMBING AND
- REMOVE AND DISPOSE OF EXISTING ACOUSTICAL TILES AT TOP OF WALL ALONG THE FULL LENGTH OF WALL. PREP FOR NEW TECTUM PANELS
- 8 REMOVE AND DISPOSE OF EXISTING FLOOR TILE, SETTING BED, WALL TILE, PARTITIONS, AND PLUMBING FIXTURES IN RESTROOM AND PREP ROOM TO RECEIVE NEW FINISHES AND
- (10) REMOVE AND DISPOSE OF ALL CARPET, BASE AND ADHESIVES THROUGHOUT EXISTING BUILDING AND PREP FLOOR AND WALL TO RECEIVE NEW FLOORING AND BASE.
- (11) REMOVE AND DISPOSE OF EXISTING CEILING GRID AND ACOUSTICAL TILE
- (12) REMOVE AND DISPOSE OF MANSARD FASCIA AS SHOWN IN DEMOTION DETAILS.
- (13) REMOVE AND DISPOSE OF CONCRETE PAD AND DOWNTURN
- (15) REMOVE AND DISPOSE OF EXISTING DRINKING FOUNTAIN CAP PLUMBING, INFILL, AND PAINT WALL AS REQUIRED
- REMOVE READER BOARD FOR WALL AND REINSTALL ON STEEL POLE IN GRASS AREA. SEE SITE PLANS AND ELECTRICAL.

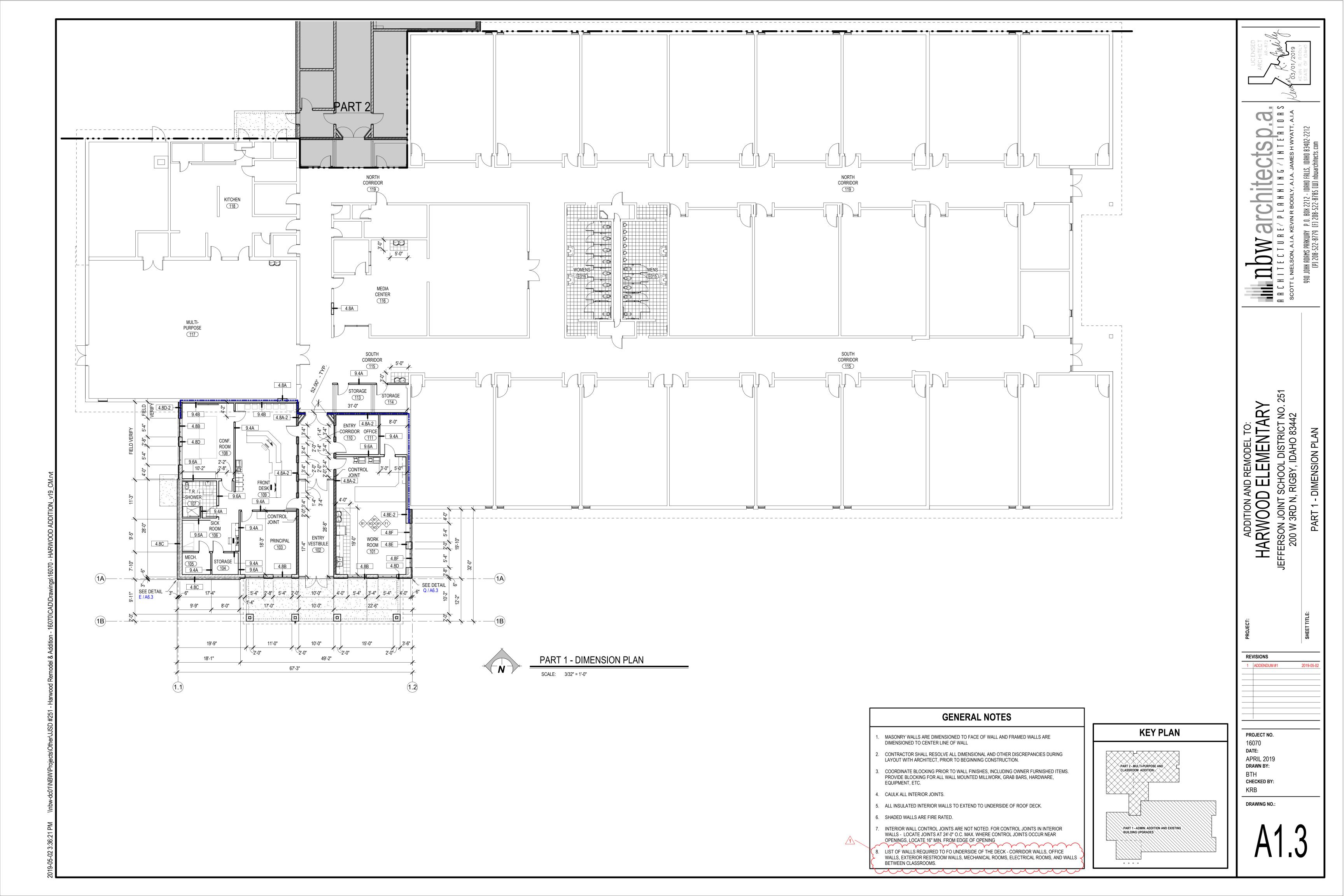
- **ELECTRICAL LINES**
- (5) REMOVE AND DISPOSE OF EXISTING MASONRY WALLS
- (6) REMOVE, ABATE AND DISPOSE OF EXISTING ASBESTOS TILE THROUGHOUT MULTI-PURPOSE ROOM AND KITCHEN. PREP FOR NEW RESILIENT FLOORING. ABATEMENT BY
- (9) REMOVE AND DISPOSE OF DOOR, FRAME, AND HARDWARE COMPLETE FOR NEW OPENING
- (14) REMOVE AND DISPOSE OF WOOD SOFFIT AND TRIM

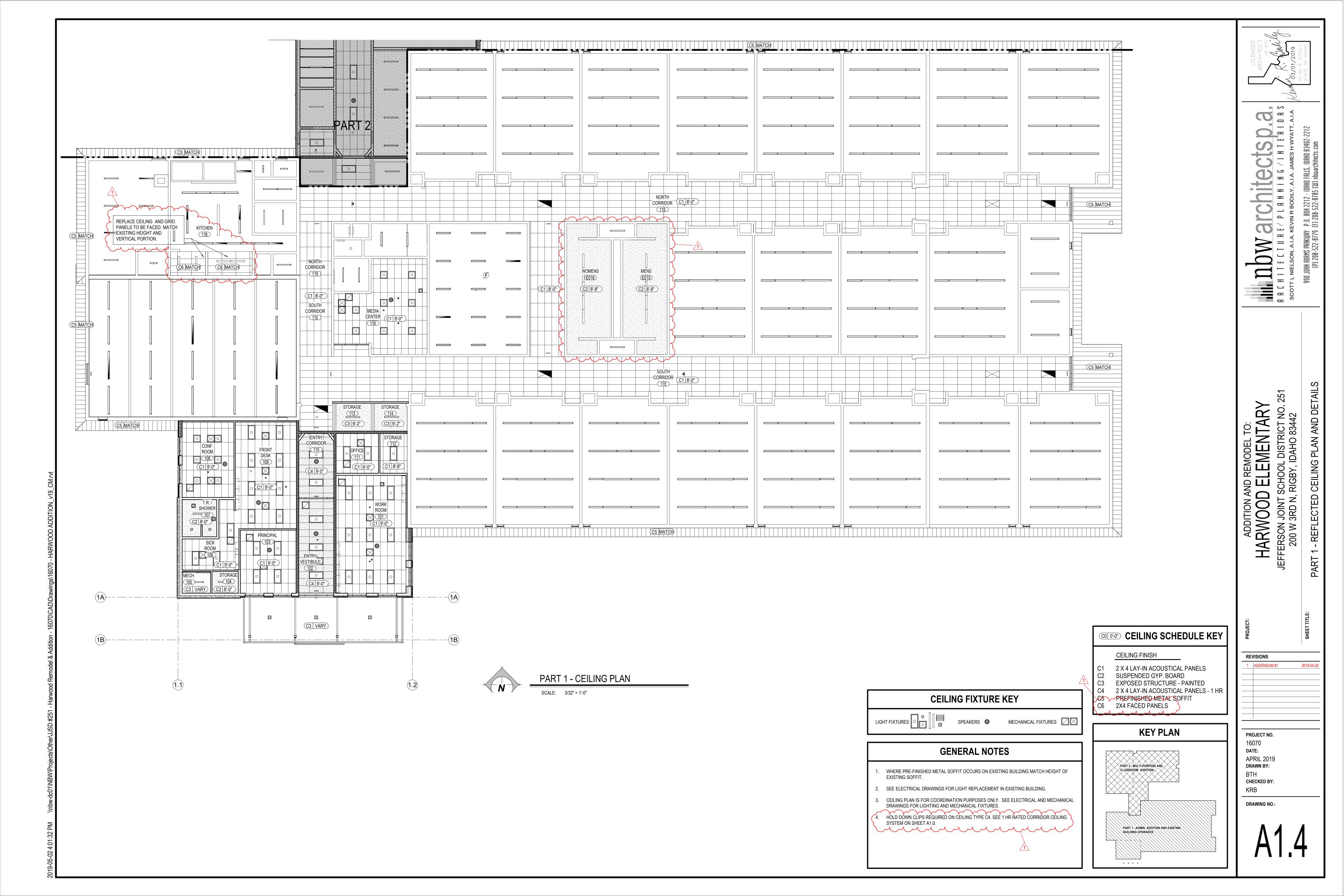
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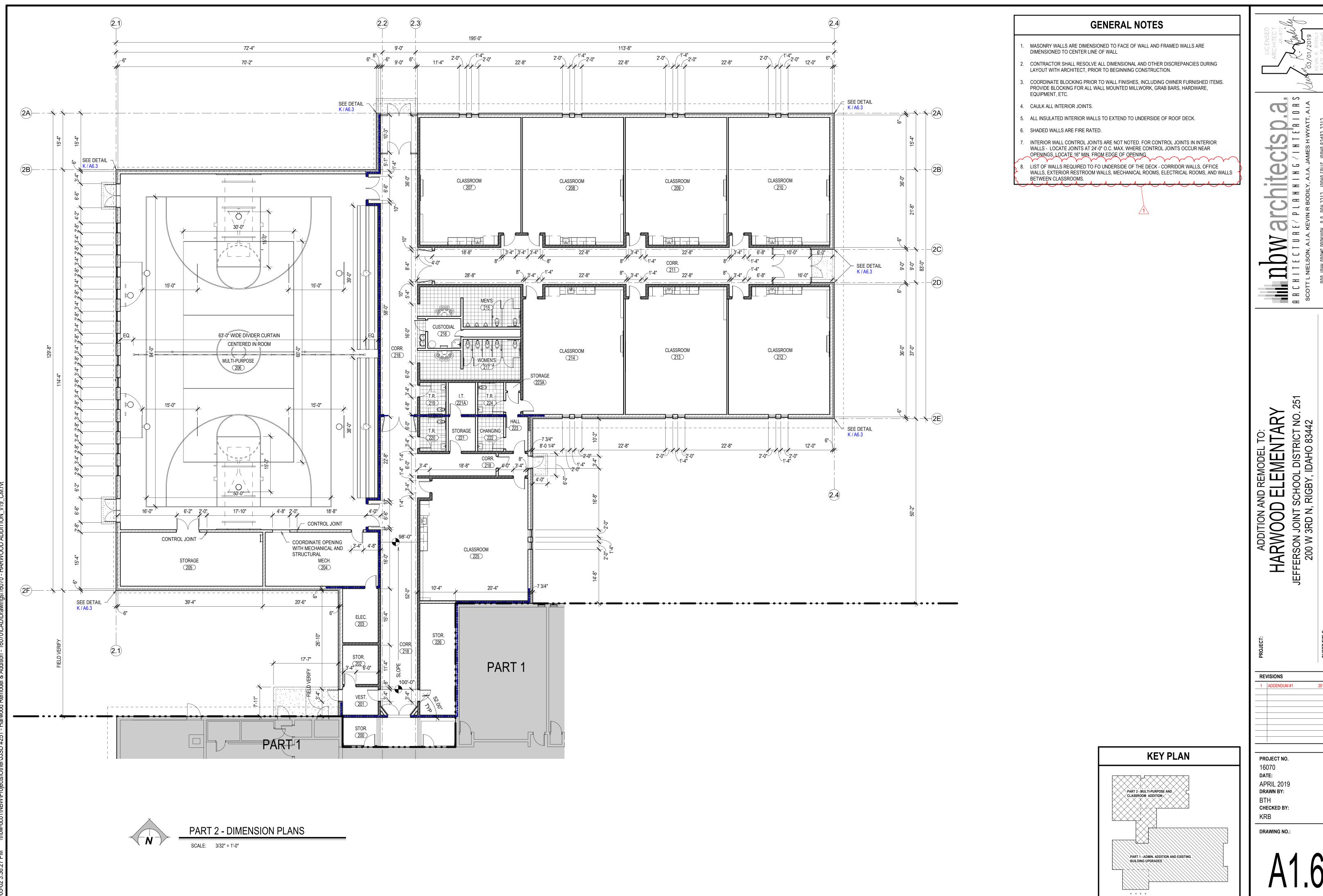
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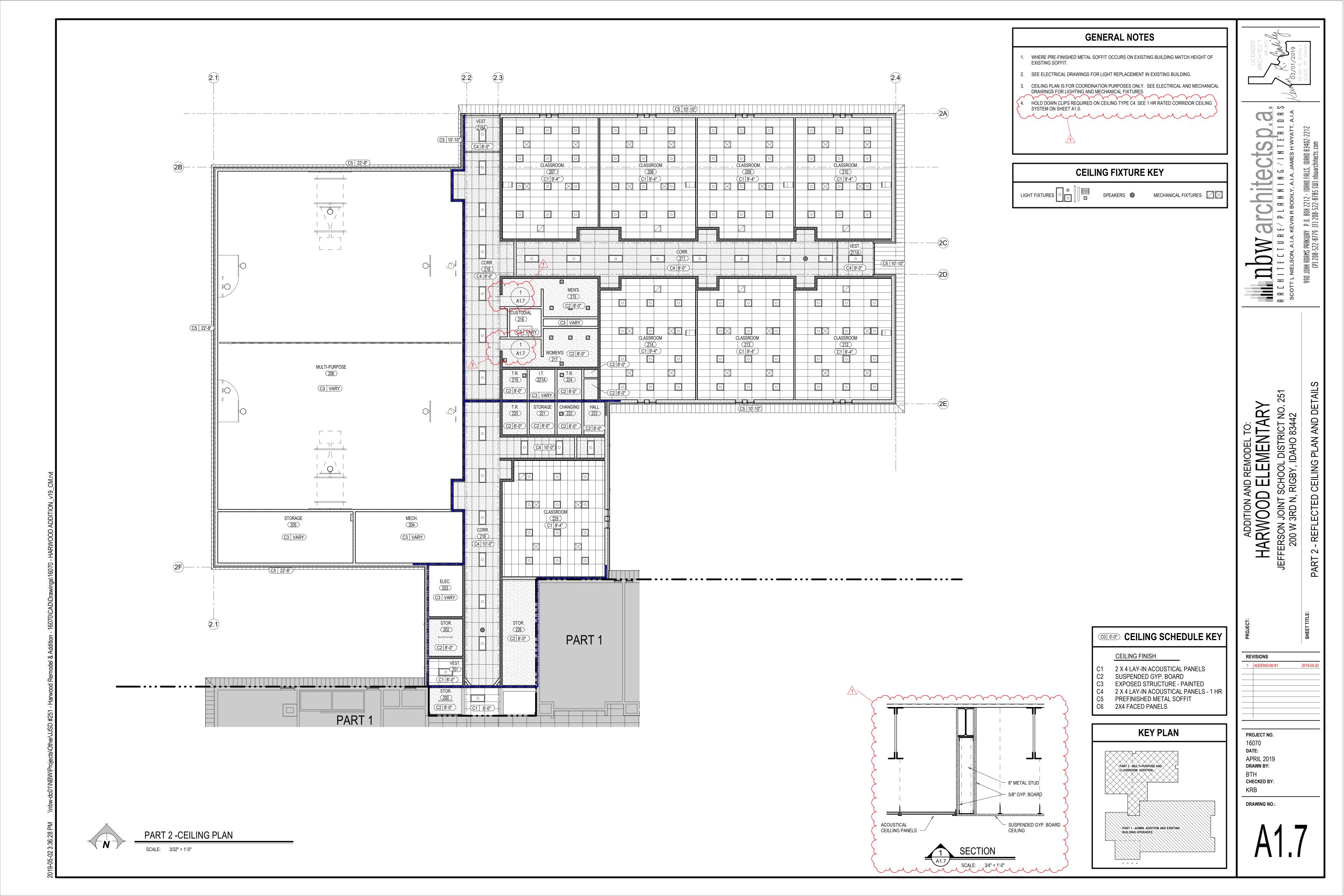


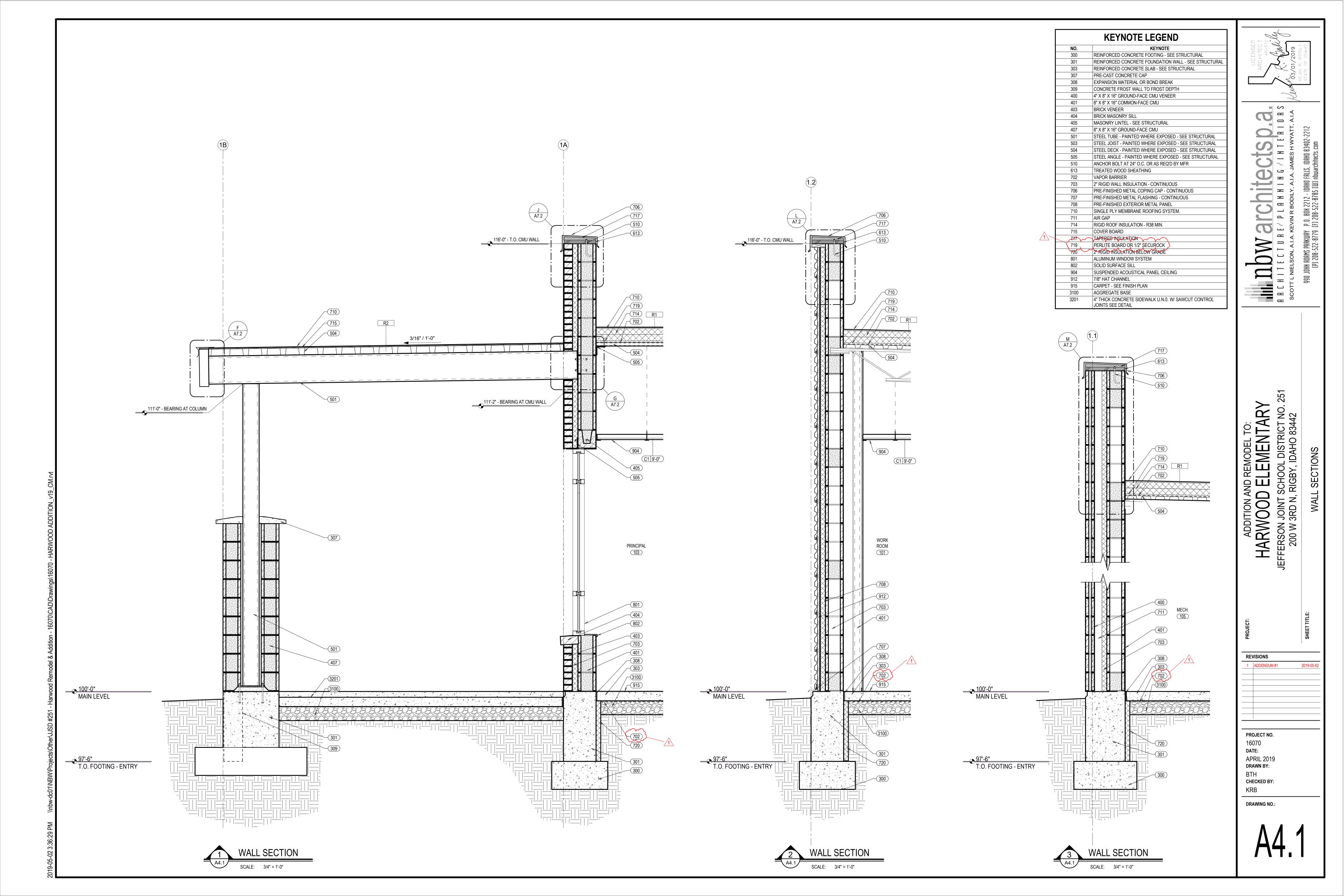
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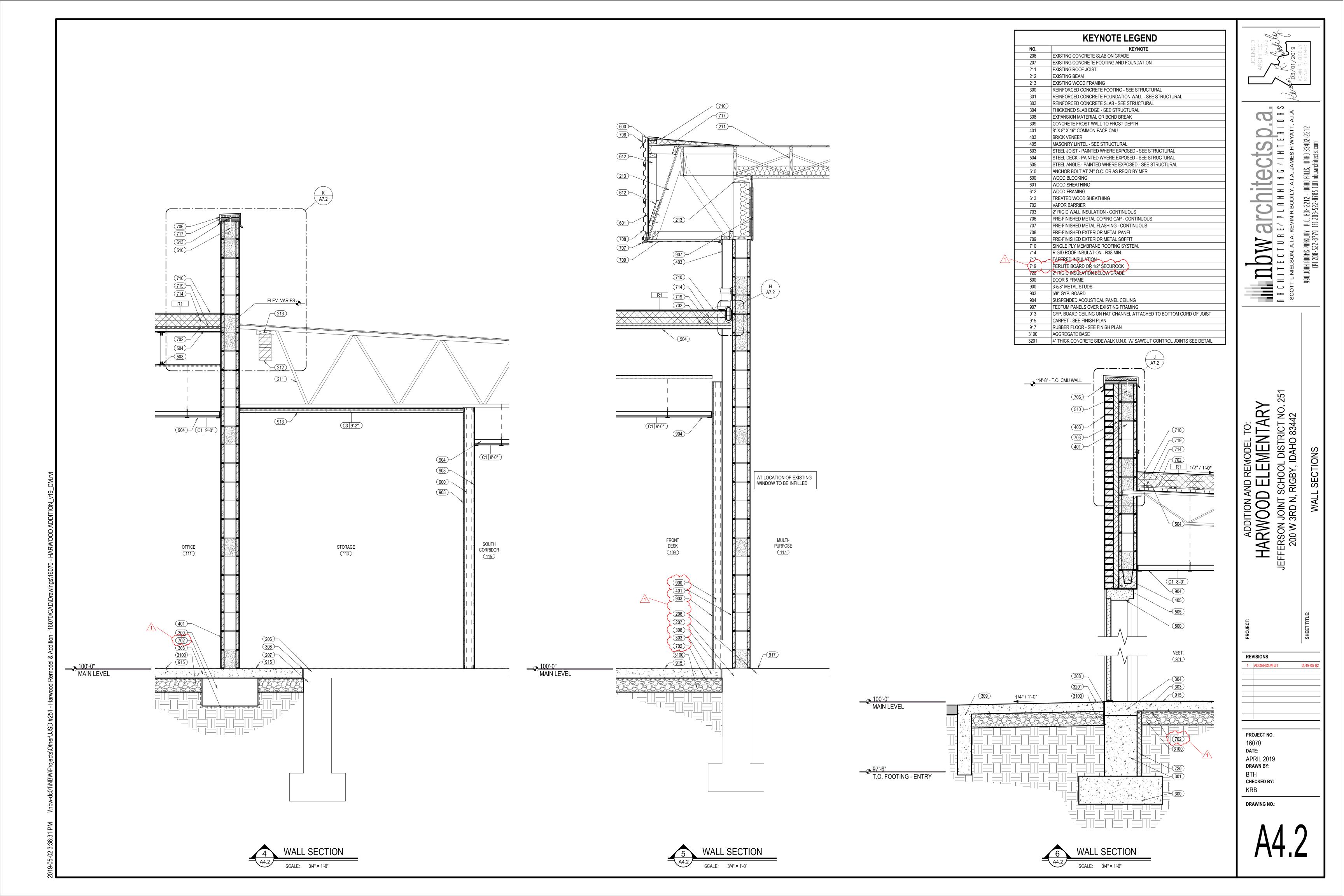
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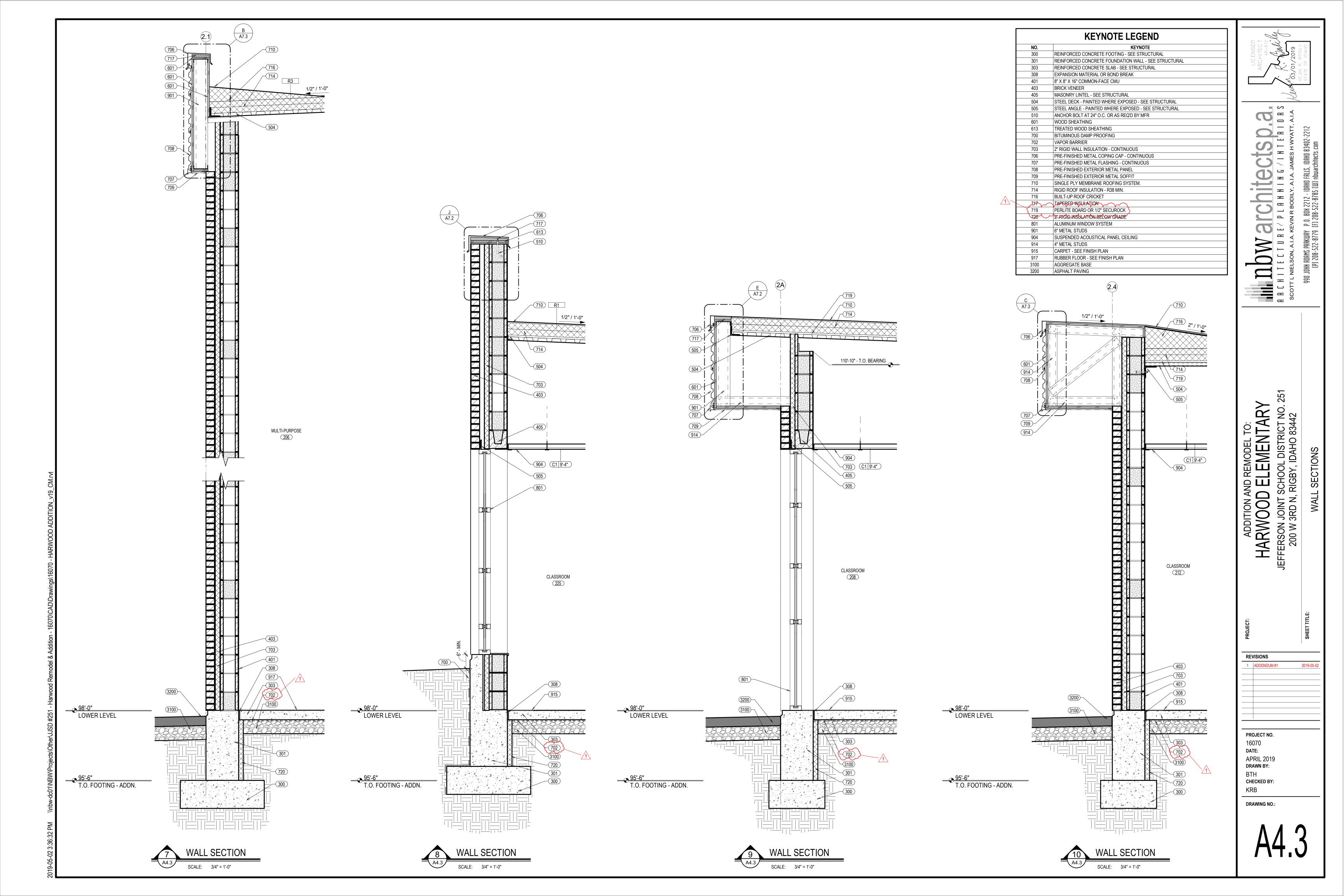
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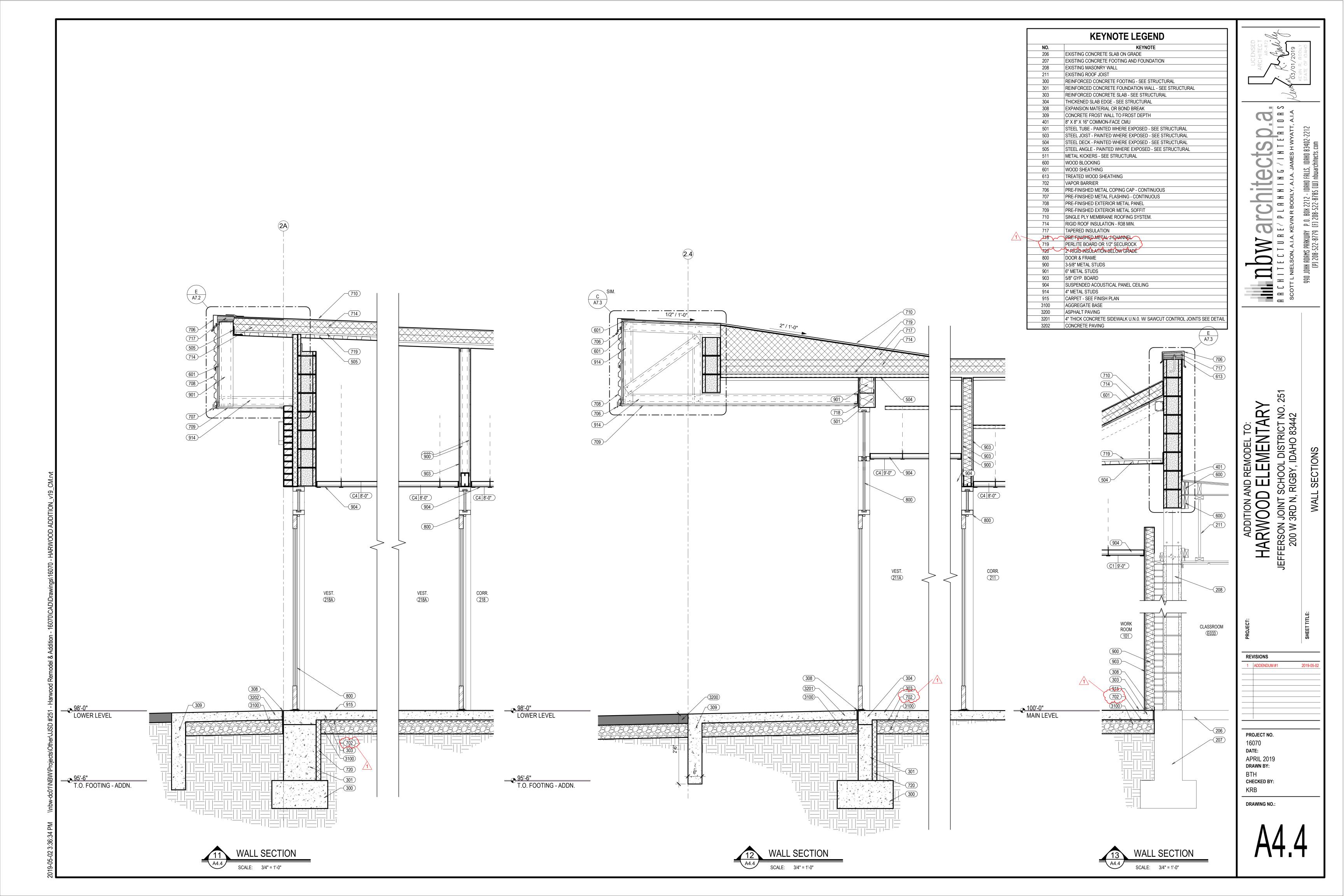
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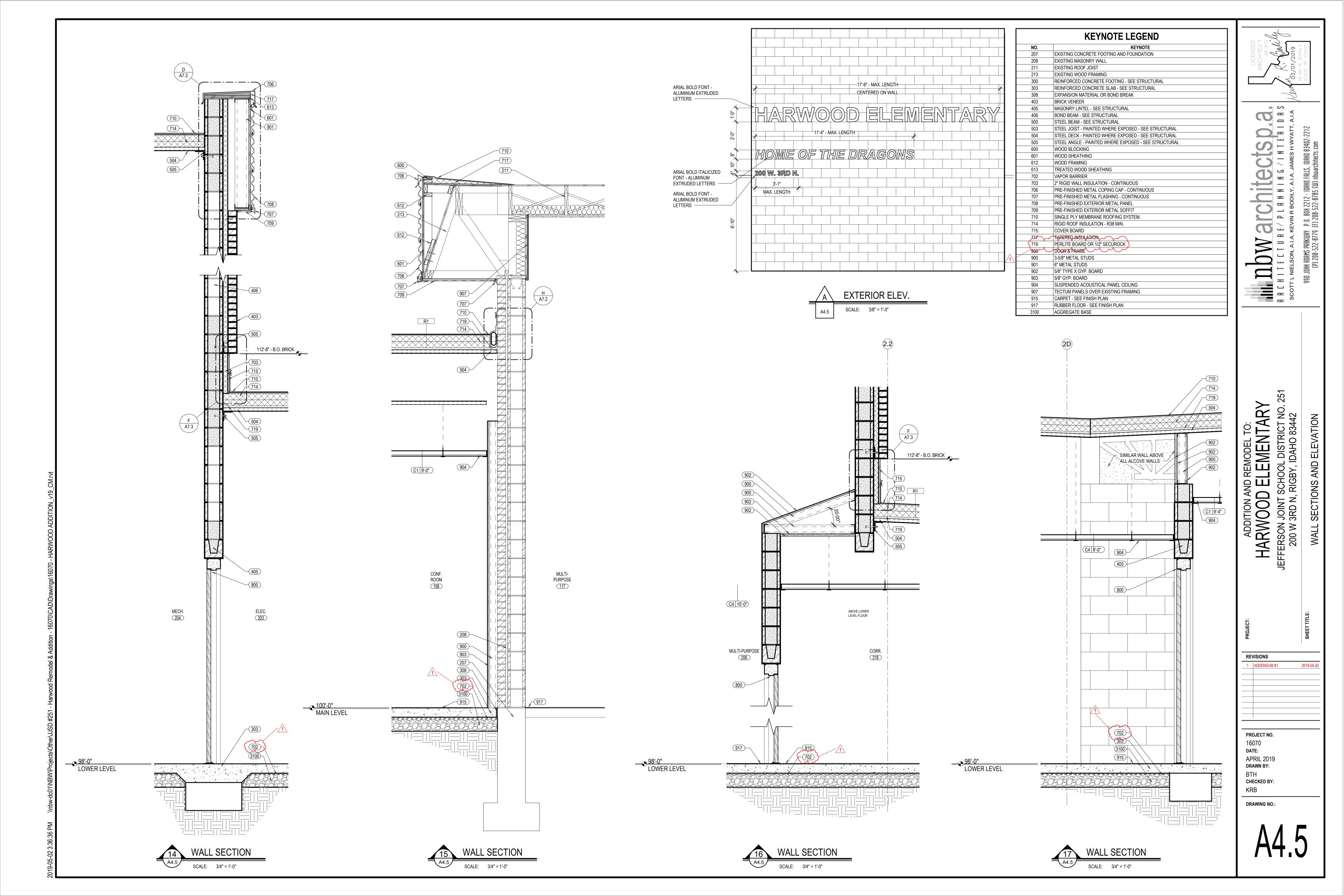


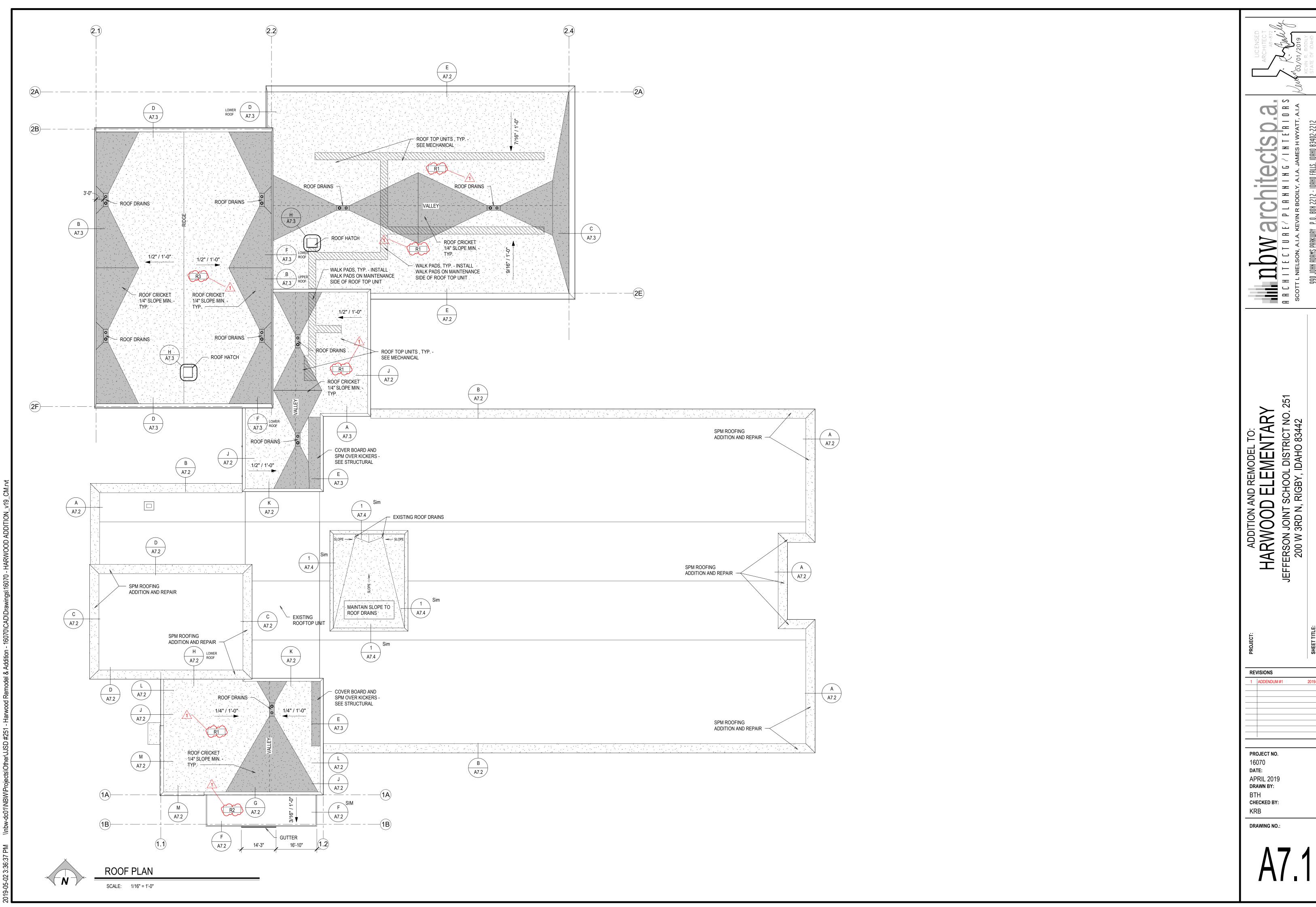




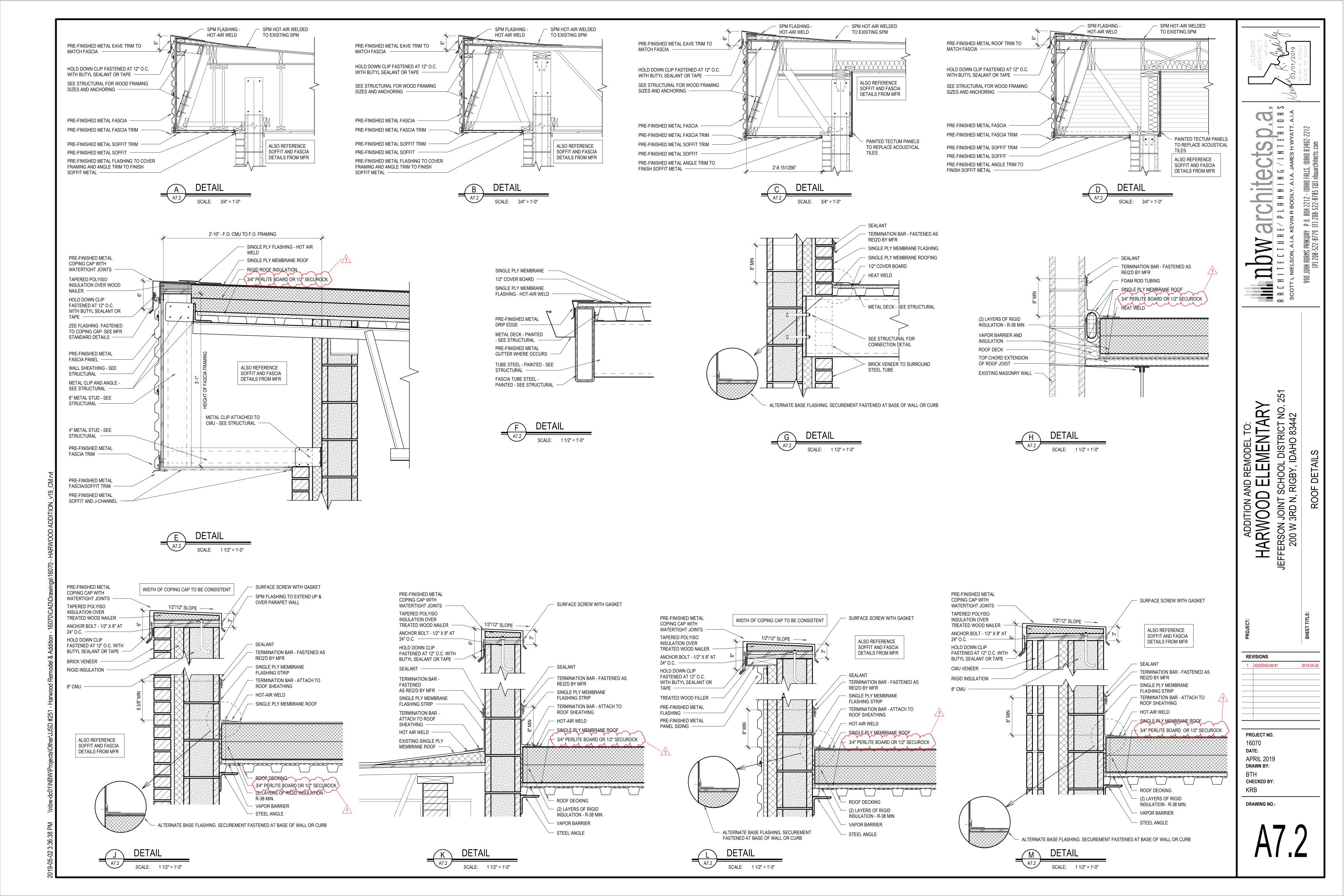


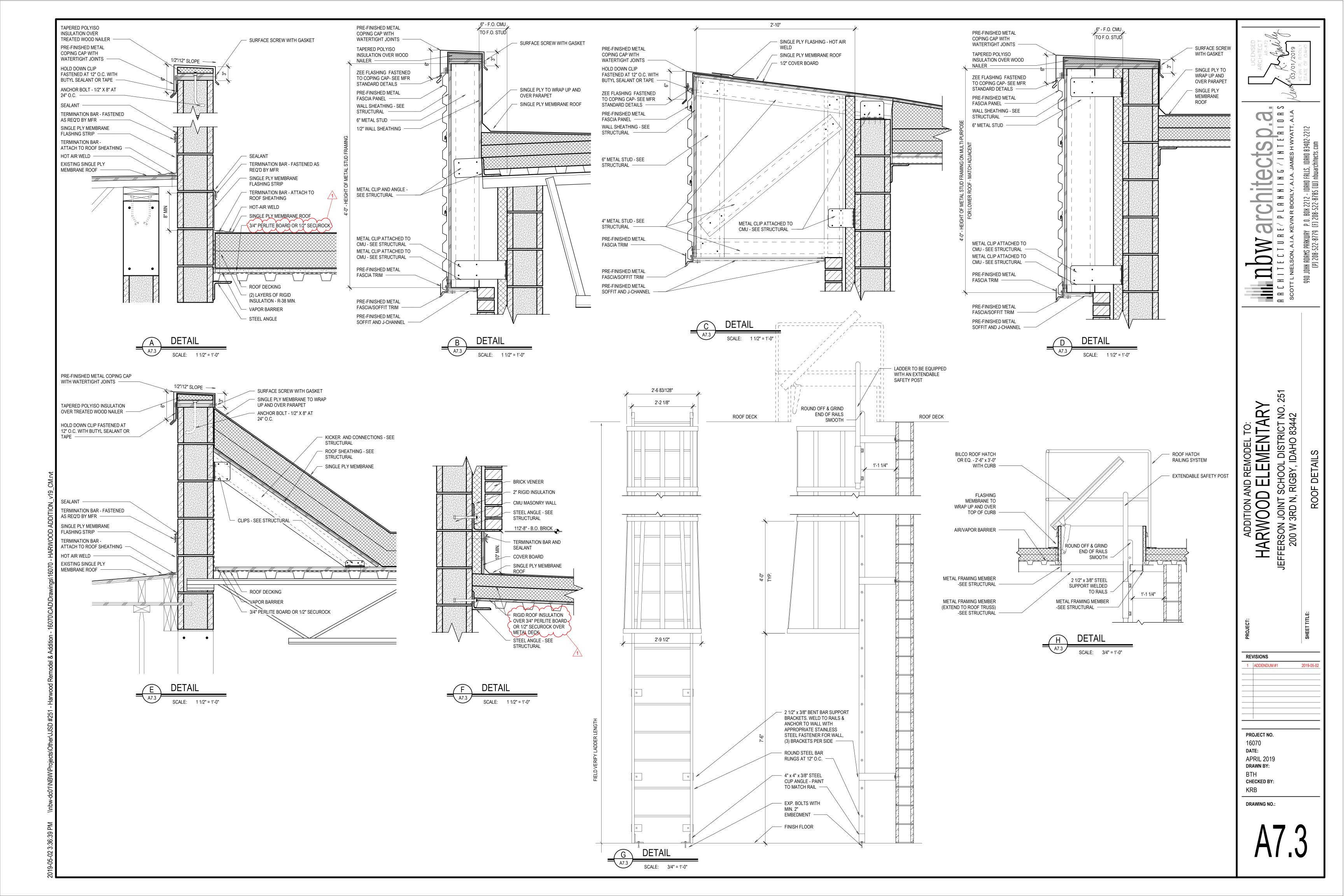


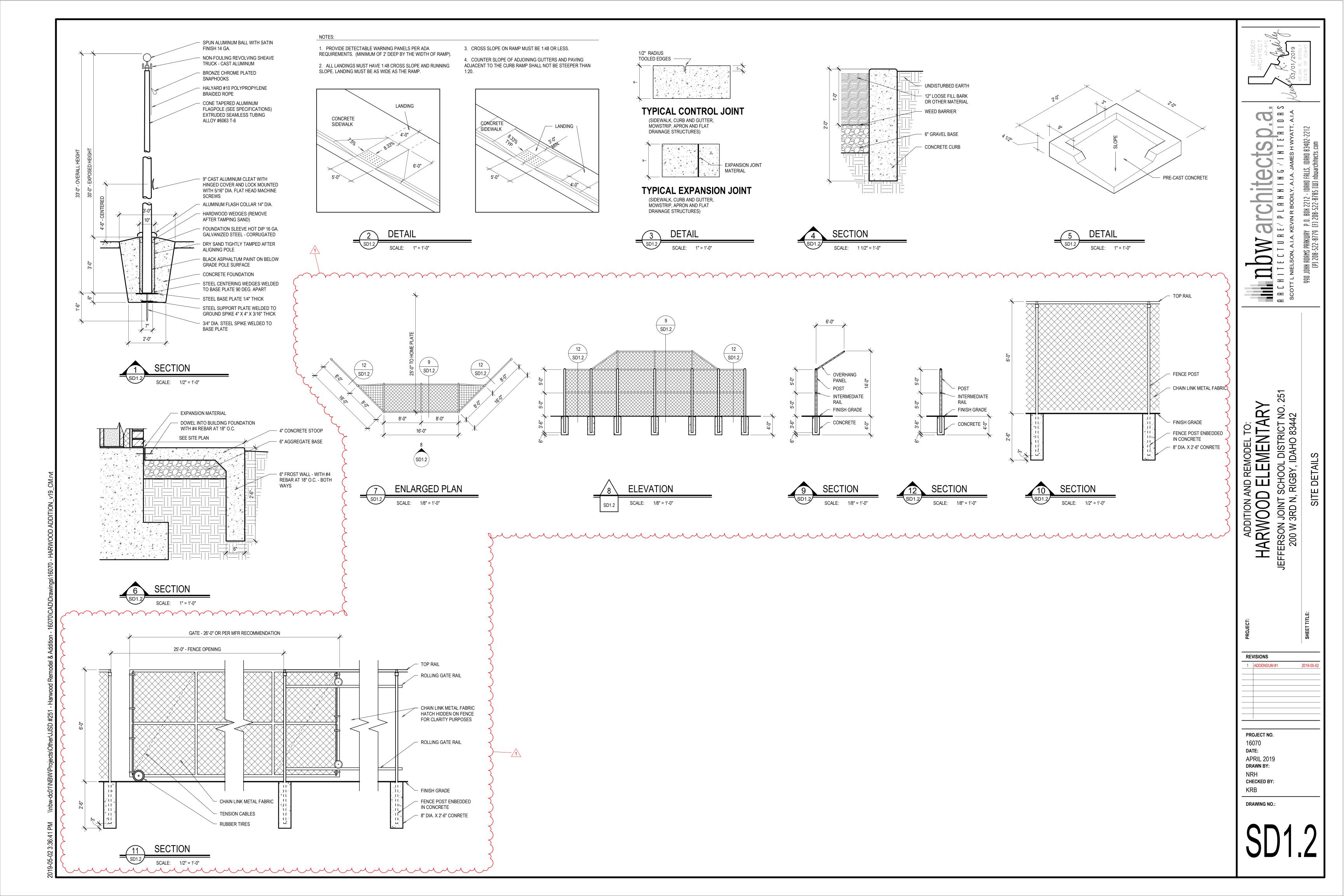




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# **NOTES**

- A. CMU WALLS SHOWN ON THIS SHEET ARE STRUCTURAL WALLS. SEE SHEET S3.0 FOR MASONRY WALL SCHEDULE. UNMARKED CMU WALLS SHOWN ON THIS SHEET SHALL BE WALL TYPE MW1. INTERIOR WALLS ON THIS SHEET SHOWN IN LIGHT GRAY ARE NON-STRUCTURAL WALLS. SEE ARCH FOR NON-STRUCTURAL WALL TYPES
- B. SEE SHEET S1.2 FOR SYMBOL LEGEND, JOIST SCHEDULE AND COLUMN SCHEDULE
- C. DIMENSIONS ARE TO GRID, CENTERLINE OF BEAM OR CENTERLINE OF
- COLUMN UNLESS NOTED OTHERWISE D. SEE DETAIL 3/S5.2 FOR SUPPORT OF BRICK VENEER ABOVE WALL
- E. SEE FOUNDATION PLANS FOR JAMB TYPE CALLOUTS
- F. EXISTING FRAMING NOT SHOWN ON THIS PLAN

# **KEYNOTES**

- (1) 8" CMU EXTENSION ON TOP OF EXISTING WALL
- 2 ROOF ACCESS HATCH. PROVIDE SECONDARY FRAMING AROUND EDGES OF OPENING PER DETAIL 9/S5.1
- (3) DESIGN JOISTS FOR POINT LOAD INDICATED DUE LOADS FROM KICKERS. LOAD INDICATED CAN OCCUR UP OR DOWN
- 4 SOILID GROUT CMU WALL INDICATED
- OPENING IN CMU WALL FOR MECHANICAL LOUVER/DUCT. SEE ARCH & MECH FOR DIMENSIONS
- 6 MECHANICAL ROOFTOP UNIT. PROVIDE SUPPLEMENTAL FRAMING AT ROOF PENETRATIONS PER DETAIL 9/S5.1
- 7 MITER CANOPY BEAMS AT CORNER AND WELD ALL AROUND. GRIND WELDS SMOOTH 8 PLATE SHOWN ON TOP OF CMU WALL PER DETAIL 3/S5.0 IS NOT REQ'D AT WALLS INDICATED
- 9 6" STEEL STUD KICKERS AT 16" OC. SIZE PER GSN
- ROOF SHEATHING ABOVE EXISTING ROOF FRAMING AT CMU WALL EXTENSION. SEE DETAIL 12/S5.1
- 11 CURTAIN DIVIDER PER ARCH
- 12 UNISTRUT P1000 AT 10'-0" OC MAX BETWEEN JOISTS EACH SIDE OF CURTAIN DIVIDER. ATTACH TO JOIST BOTTOM CHORDS PER DETAIL
- HSS 3x3x1/4 AT BASKETBALL BACKSTOP SUPPORTS AT BOTTOM CHORDS OF ROOF JOISTS. COORDINATE w/BACKSTOP MANUFACTURER
- SOLID GROUT ALL CMU WITHIN 2'-0" OF BASKETBALL BACKBOARD
- 15 CONTROL JOINT IN CMU WALL. BREAK ALL HORIZONTAL REINFORCING AT THIS LOCATION

**KEY PLAN** 

PART 2 - MÛLTI-PURPOSÊ AND

PART 1 - ADMIN. ADDITION AND EXISTING

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ENGINEERING, PA

Suite 102

ADDITION & REMODEL FOR:
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**REVISIONS** 

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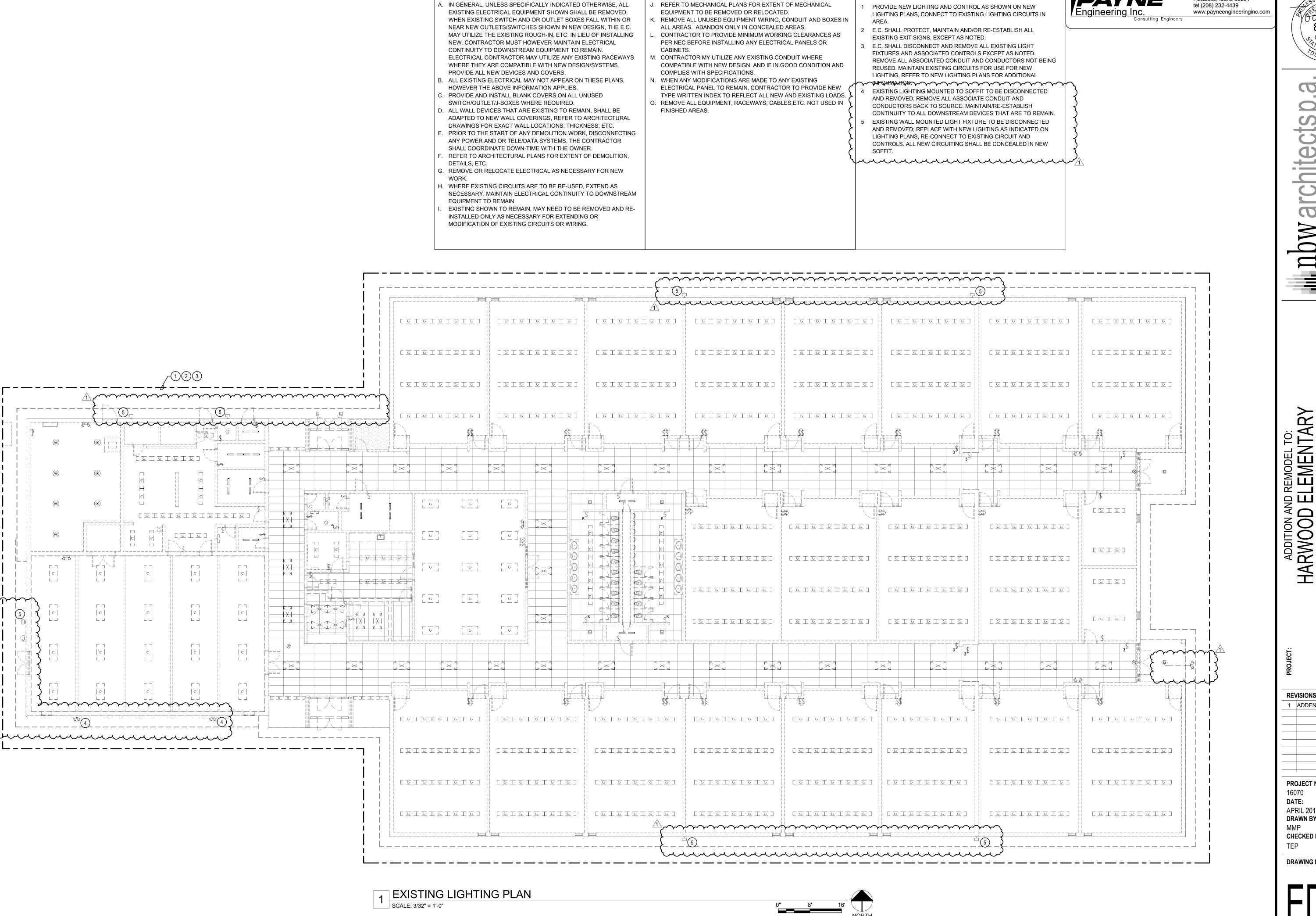
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**GENERAL NOTES:** 

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**KEY NOTES:** 

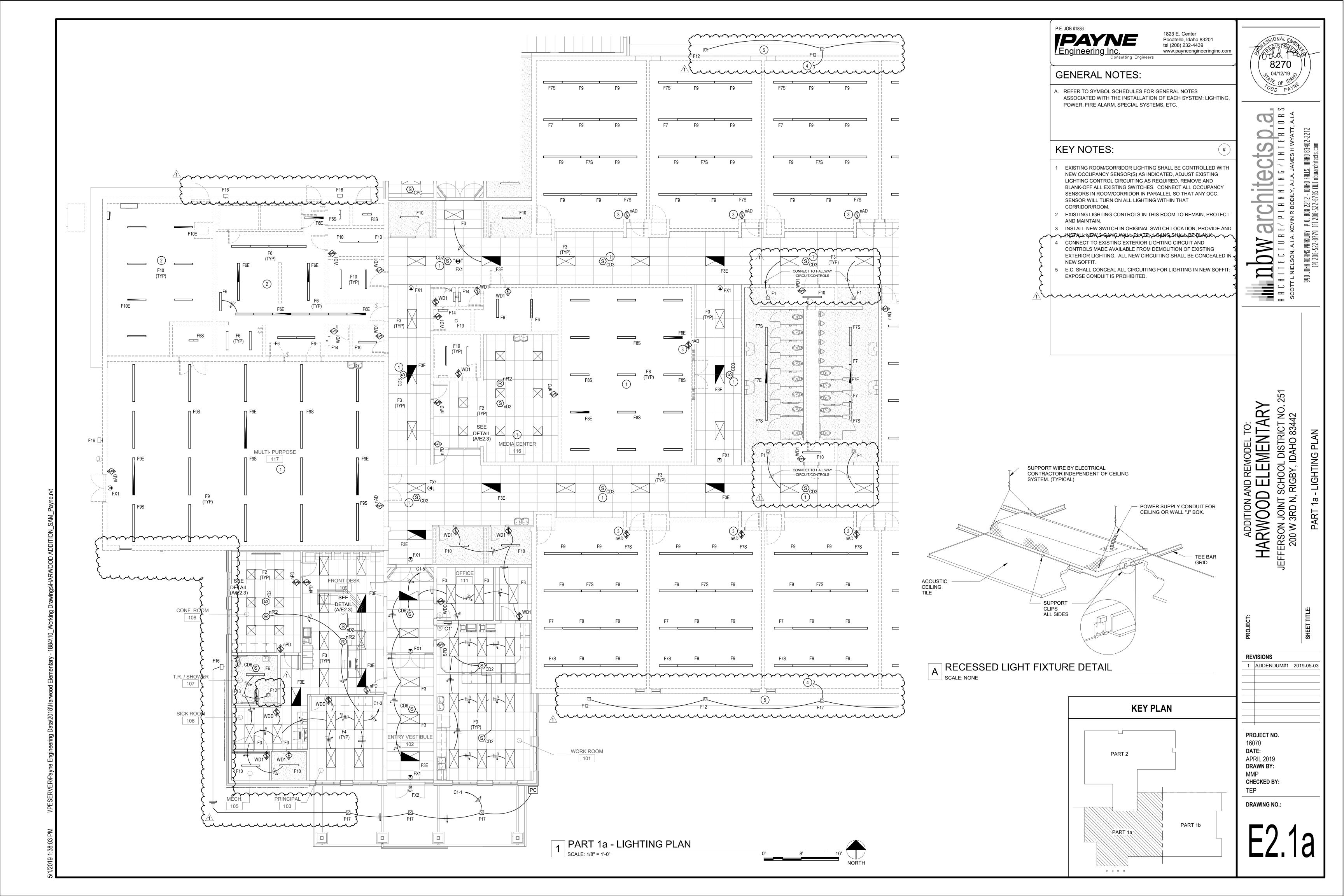
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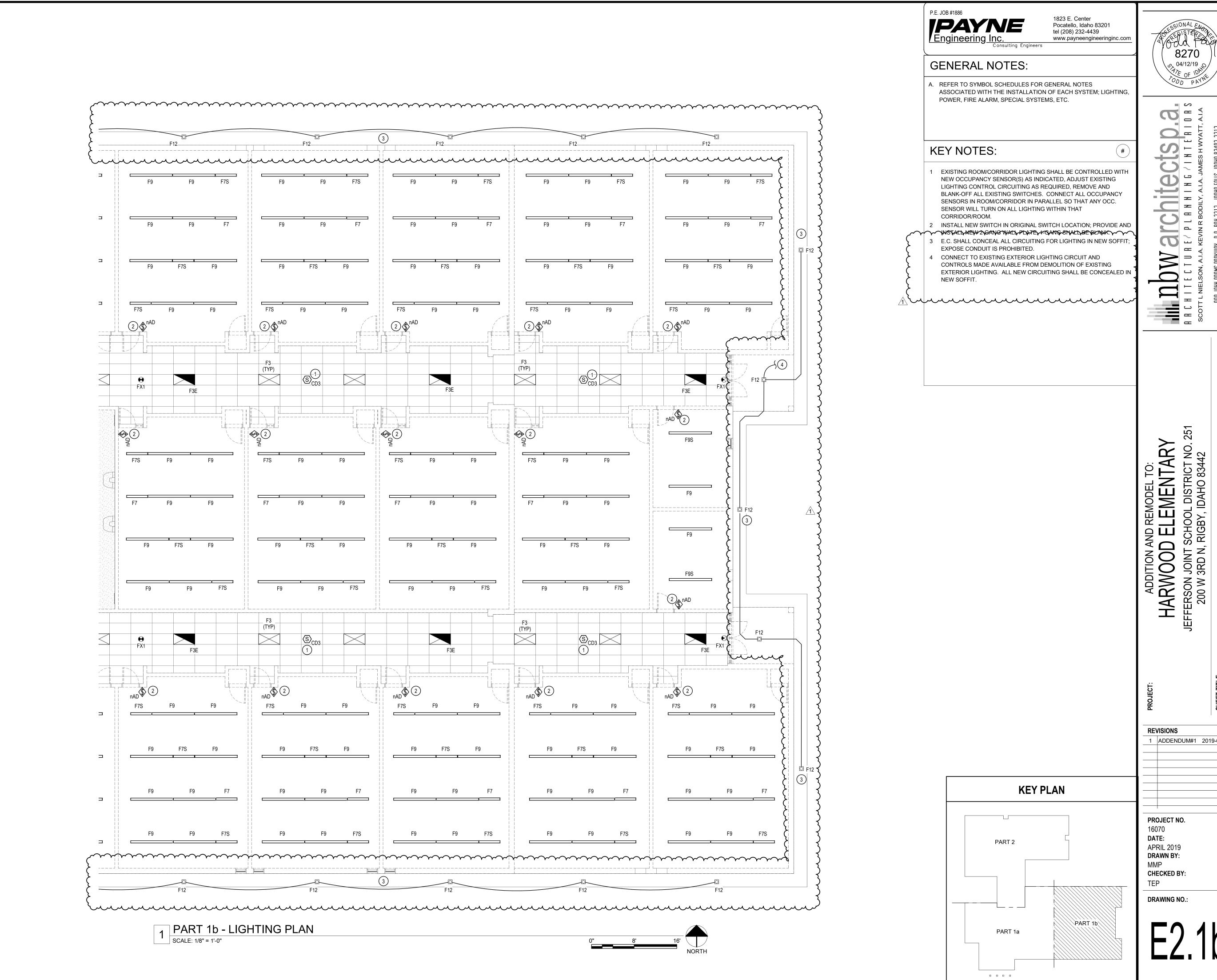
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REVISIONS 1 ADDENDUM#1 2019-05-03

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